

ALTERATIONS FOR:

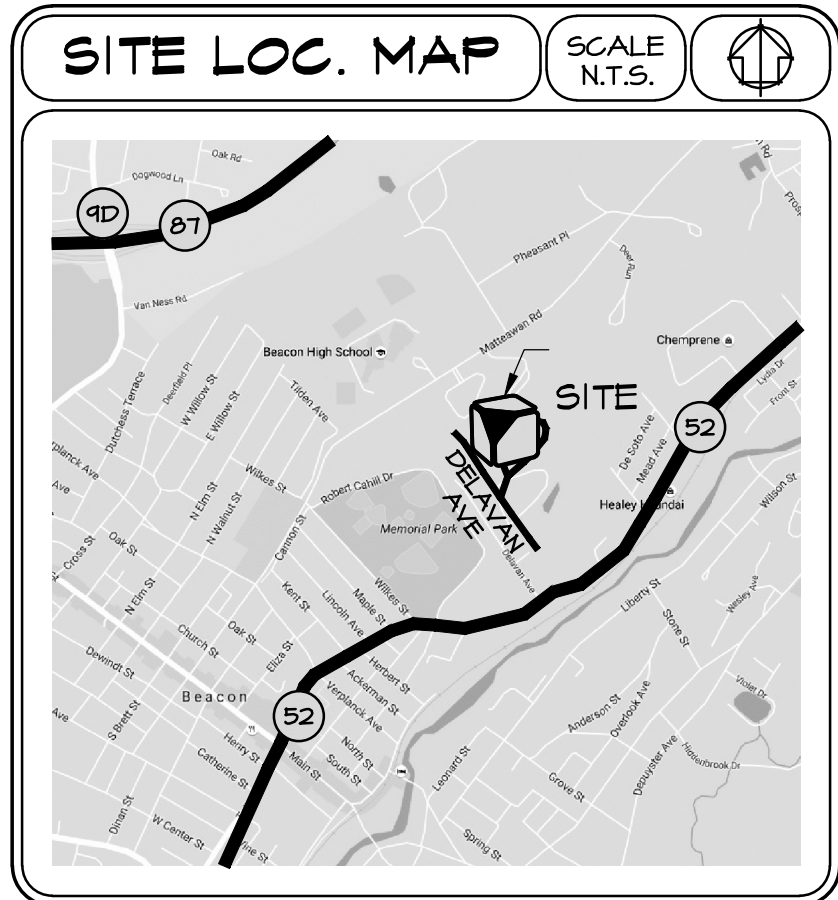
# DABASHI RESIDENCE

82 DELAVAN AVE BEACON, NEW YORK

2015 INTERNATIONAL RESIDENTIAL CODE		
BUILDING CLASSIFICATION		
USE GROUP	SINGLE FAMILY RESIDENCE	
CONSTRUCTION CLASSIFICATION	WOOD FRAME	
HEIGHT & FIRE AREA LIMITATIONS		
DATA	PERMITTED	PROVIDED
STORIES	THREE STORIES	EXISTING TWO STORY
HEIGHT	UL	EXISTING
TOTAL ALLOWABLE AREA	UL	EXISTING
APPENDIX J - EXISTING BUILDINGS AND STRUCTURES		
AJ501 - ALTERATIONS	REQUIRED	PROVIDED
AJ 502.2 - MATERIALS AND METHODS	ALL NEW WORK SHALL COMPLY WITH MATERIALS AND METHODS REQUIREMENTS OF THIS CODE	COMPLIES
AJ 507.1 - GENERAL	ALTERATIONS TO ANY PLUMBING SYSTEM SHALL CONFORM TO THE REQUIREMENTS FOR A NEW PLUMBING SYSTEM WITHOUT REQUIRING THE EXISTING PLUMBING SYSTEMS TO COMPLY WITH ALL THE REQUIREMENTS OF THIS CODE	COMPLIES
AJ 507.3 - WATER CLOSET REPLACEMENT	WHEN ANY WATER CLOSET IS REPLACED, THE REPLACEMENT WATER CLOSET SHALL COMPLY WITH SECTION P2403.2 (1.6 GALLONS/FLUSH)	COMPLIES

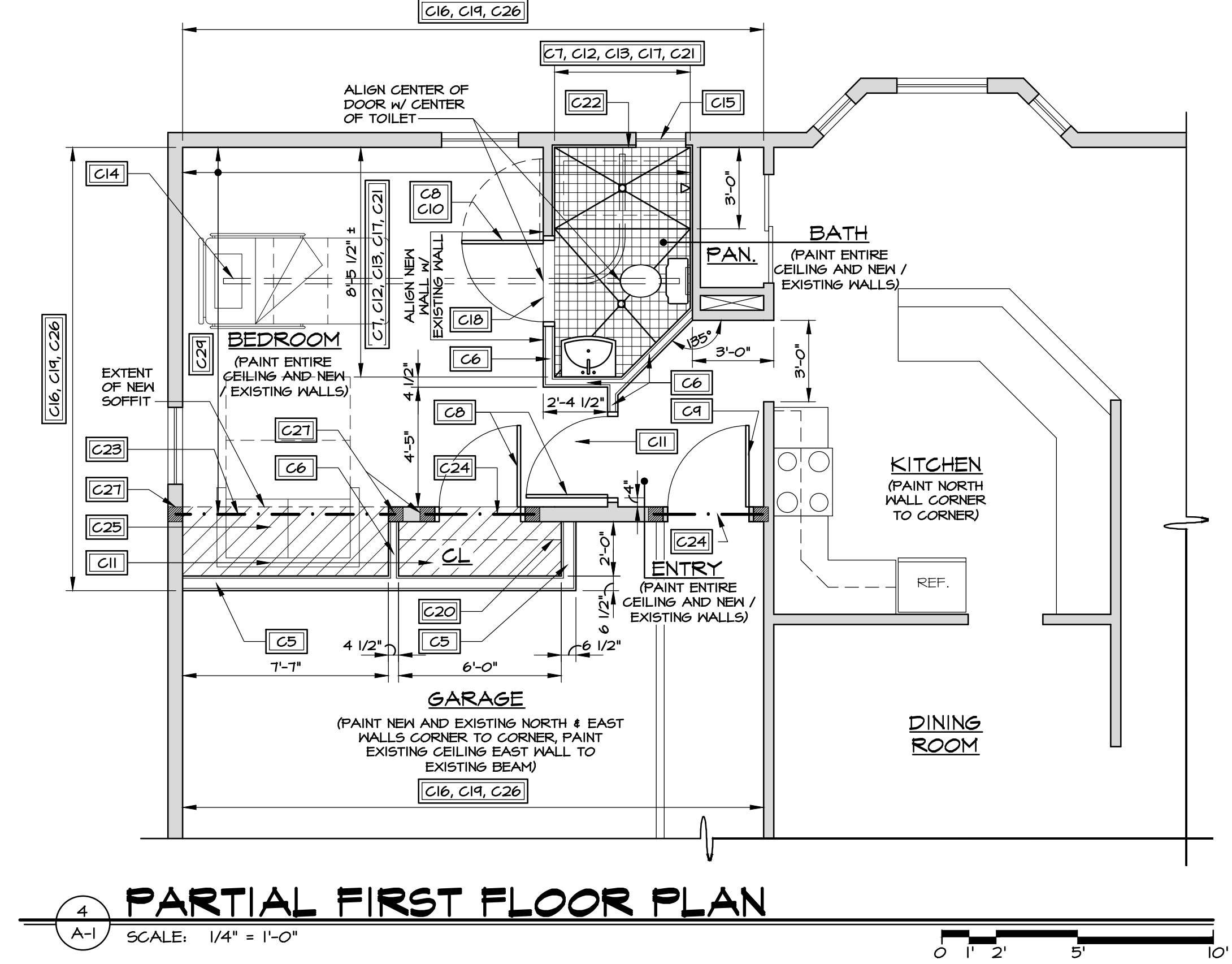
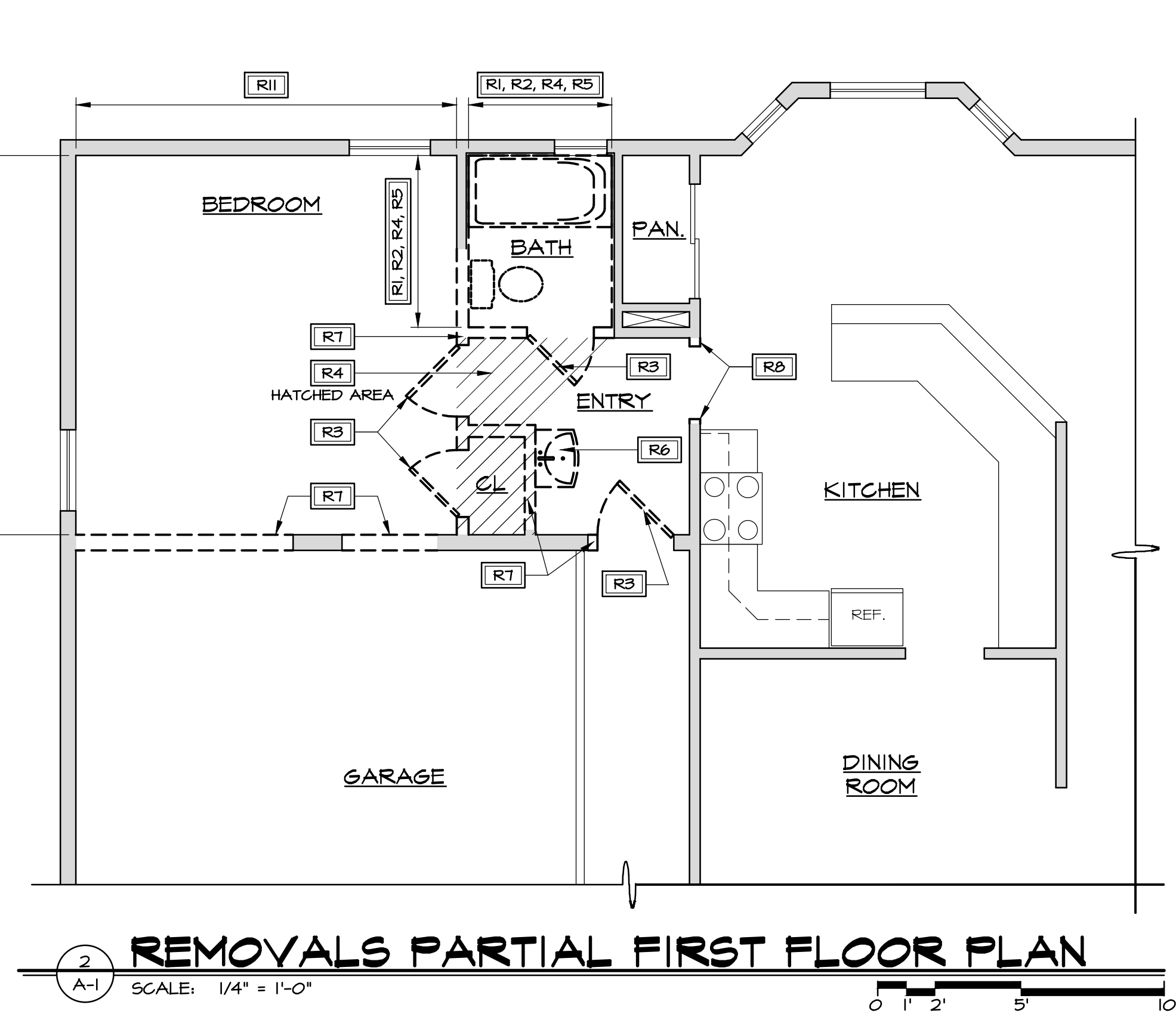
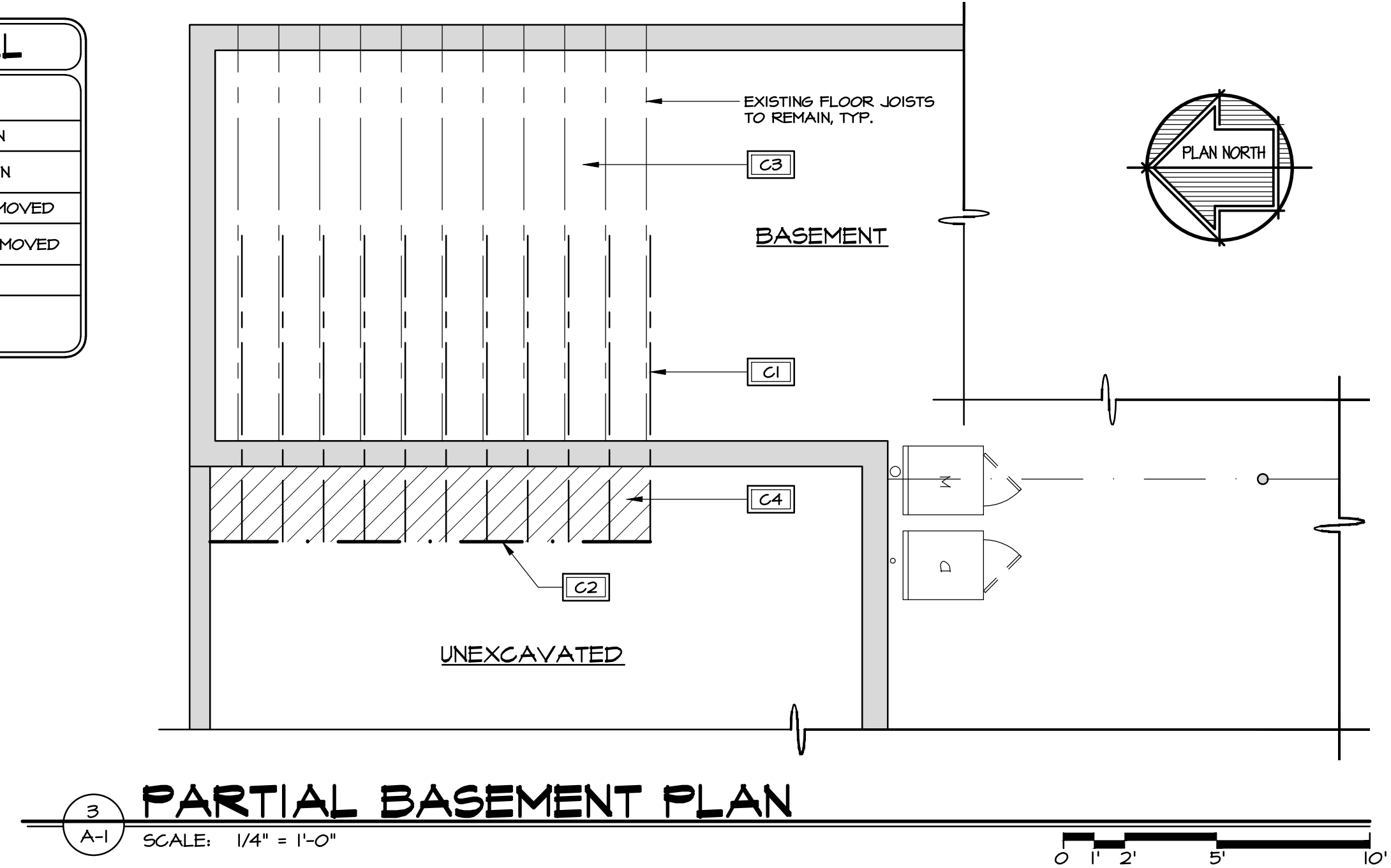
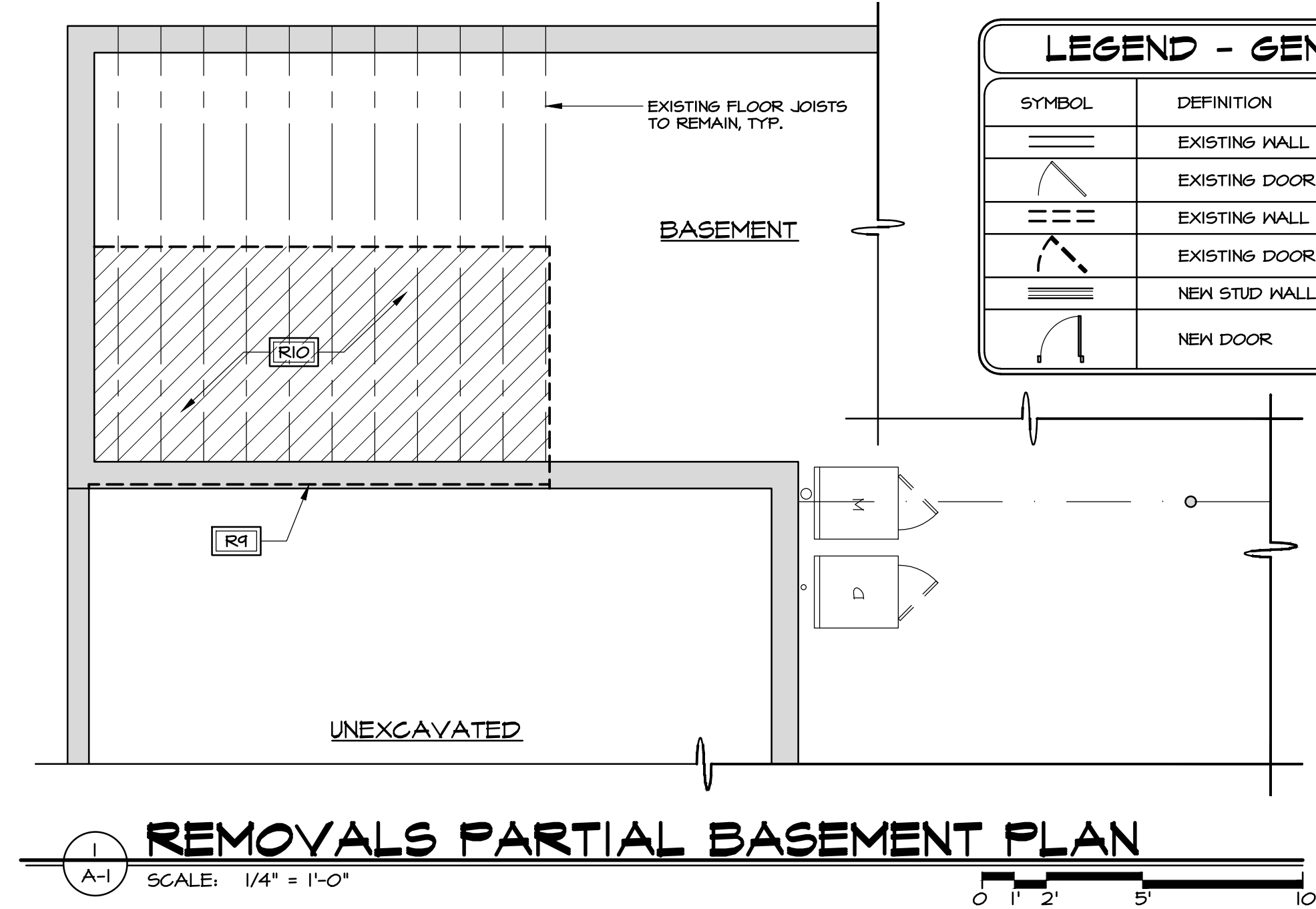
GENERAL NOTES & SPECIFICATIONS	
<b>GENERAL NOTES:</b> <ol style="list-style-type: none"><li>OWNER TO OBTAIN BUILDING PERMIT, CONTRACTOR SHALL OBTAIN ALL OTHER NECESSARY PERMITS.</li><li>CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO COMMENCEMENT OF WORK AND NOTIFY ARCHITECT OF DISCREPANCIES, IF ANY.</li><li>ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES.</li><li>SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES SO AS NOT TO CAUSE ANY UNNECESSARY DELAYS IN PROJECT.</li><li>CONTRACTOR SHALL BE RESPONSIBLE FOR APPROVALS AND FINAL INSPECTIONS OF HIS WORK BY LOCAL BUILDING INSPECTOR.</li><li>CONTRACTOR SHALL OBTAIN CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK OF ALL TRADES.</li><li>ALL WORK DONE SHALL BE OF THE QUALITY EXPECTED OF THE RESPECTIVE TRADES.</li><li>ALL EXISTING AREAS DAMAGED DUE TO REMOVALS OR NEW CONSTRUCTION (WALL, FLOOR, CEILING) SHALL BE PATCHED WITH MATERIALS SIMILAR TO EXISTING, TYPICAL.</li><li>CONTRACTOR SHALL PREPARE ALL SURFACES AND INSTALL ALL MATERIALS AS PER MANUFACTURER'S RECOMMENDATIONS.</li><li>ALL INSULATING MATERIALS MEET OR EXCEED ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE REQUIREMENTS.</li><li>CONTRACTOR SHALL USE FIGURE DIMENSIONS ONLY AND AT NO TIME SHALL HE SCALE THE DRAWINGS.</li><li>CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT FOR FLOOR AND CEILING STRUCTURES WHEN NECESSARY AND AS REQUIRED.</li><li>CONTRACTOR IS TO PROVIDE FIRE STOPPING AS PER RESIDENTIAL CODE OF NEW YORK STATE.</li><li>CONTRACTOR SHALL PROTECT EXISTING FINISHES FROM DAMAGES DURING CONSTRUCTION.</li><li>CONTRACTOR SHALL INSTALL DUST PARTITIONS AS REQUIRED TO MINIMIZE DISTURBANCES TO REMAINDER OF RESIDENCE.</li><li>CONTRACTOR SHALL PROVIDE A WARRANTY TO THE OWNER, THAT ALL WORK UNDER THIS CONTRACT SHALL BE FREE FROM ALL DEFECTS, BOTH IN MATERIALS &amp; WORKMANSHIP, FOR A PERIOD OF ONE YEAR FROM FINAL COMPLETION AND / OR PAYMENT, WHICHEVER IS LATEST. THIS WARRANTY SHALL BE PRESENTED IN WRITING.</li></ol>	
<b>SPECIFICATIONS:</b> <ol style="list-style-type: none"><li>JOIST HANGERS SHALL BE SERIES "U" SIZED AS REQUIRED AND AS MANUFACTURED BY SIMPSON STRONG-TIE CO., INC.</li><li>ALL LUMBER SHALL BE:<ol style="list-style-type: none"><li>OF GOOD QUALITY AND FREE OF ANY SPLITS, CHECKS OR KARPINS.</li><li>CONSTRUCTION GRADE FD = 965 p.s.i. MIN.</li></ol></li><li>ALL SELECTIONS OF MATERIALS, FINISHES, STAINS, COLORS ETC. SHALL BE BY OWNER UNLESS NOTED OTHERWISE.</li><li>ALL PORCELAIN TILE SHALL BE MANUFACTURED BY DAL TILE (UNLESS NOTED OTHERWISE) 4 NABBY ROAD, DANBURY, CT 06811, 203-207-0100 OR <a href="http://WWW.DAL TILE.COM">WWW.DAL TILE.COM</a>.<ol style="list-style-type: none"><li>PORCELAIN FLOOR TILE, ANSI A137.1, AND AS FOLLOWS: (DAL TILE).<ol style="list-style-type: none"><li>PRODUCT: KEYSTONES</li><li>SIZE: 2" X 2" NOMINAL W/ ABRASIVE CONTENT.</li><li>SURFACE FINISH: UNGLAZED.</li><li>COLOR(S): TO BE SELECTED FROM MANUFACTURER'S STANDARD RANGE WITHIN PRICE GROUP 1, 2 &amp; 3.</li></ol></li><li>PORCELAIN WALL TILE, ANSI A137.1, AND AS FOLLOWS: (DAL TILE).<ol style="list-style-type: none"><li>PRODUCT: WALL TILE MATTE/SEMI GLOSS.</li><li>SIZE: 4 1/4" X 4 1/4" NOMINAL FIELD TILE.</li><li>SURFACE FINISH: GLAZED.</li><li>COLOR(S): TO BE SELECTED FROM MANUFACTURER'S STANDARD RANGE WITHIN PRICE GROUPS 1, 2, &amp; 3.</li><li>PATTERN: AS INDICATED ON DRAWINGS.</li><li>TRIM UNITS: MATCHING BULLNOSE SHAPES IN SIZES COORDINATED WITH FIELD TILE.</li></ol></li><li>TRIM &amp; ACCESSORIES:<ol style="list-style-type: none"><li>NON-CERAMIC TRIM: ANODIZED EXTRUDED ALUMINUM, STYLE &amp; DIMENSIONS TO SUIT APPLICATION FOR SETTING USING TILE MORTAR OR ADHESIVE AS MANUFACTURED BY SCHLUTER SYSTEMS.</li><li>ALUMINUM METAL COVE SHALL BE SCHLUTER DILEX-AHK.</li><li>ALL SCHLUTER TRIMS SHALL BE MILL FINISH ALUMINUM.</li><li>ALL SCHLUTER TRIMS SHALL BE MITERED AT ALL INSIDE AND OUTSIDE CORNERS.</li></ol></li><li>SETTING MATERIALS:<ol style="list-style-type: none"><li>LATEX MORTAR: 253 GOLD THIN-SET AS MANUFACTURED BY LATICRETE INTERNATIONAL, INC. (<a href="http://WWW.LATICRETE.COM">WWW.LATICRETE.COM</a>).</li><li>WATERPROOFING MEMBRANE: HYDRO BAN AS MANUFACTURED BY LATICRETE INTERNATIONAL, INC. (<a href="http://WWW.LATICRETE.COM">WWW.LATICRETE.COM</a>).</li><li>EPOXY GROUT: SPECTRALOCK PRO GROUT AS MANUFACTURED BY LATICRETE INTERNATIONAL, INC. (<a href="http://WWW.LATICRETE.COM">WWW.LATICRETE.COM</a>). COLOR SHALL BE SELECTED BY OWNER FROM MANUFACTURER'S FULL RANGE OF AVAILABLE COLORS.</li><li>SILICONE SEALANT: SILICONE SEALANT, MOISTURE AND MILDEW RESISTANT TYPE, MATCH COLOR OF ADJACENT MATERIALS.</li></ol></li><li>STONE THRESHOLDS: PROVIDE STONE THRESHOLDS UNIFORM IN COLOR AND FINISH AND FABRICATED AS FOLLOWS:<ol style="list-style-type: none"><li>MATERIAL: MARBLE</li><li>COLOR/FINISH: AS SELECTED BY OWNER.</li></ol></li></ol><ol style="list-style-type: none"><li>ALL PAINT SHALL BE BENJAMIN MOORE &amp; CO.<ol style="list-style-type: none"><li>ALL NEW &amp; EXISTING GYP. BOARD WALLS &amp; CEILINGS:<ol style="list-style-type: none"><li>ONE (1) COAT SPEEDHIDE QUICK DRYING LATEX PRIMER (NEW GYPSUM AREAS ONLY).</li><li>TWO (2) COATS SATIN HIDE LO-LUSTER LATEX ENAMEL (FLAT FINISH ON ALL CEILINGS EXCEPT BATHROOMS - SATIN EGGSHELL ON WALLS EXCEPT BATHROOMS - SATIN).</li></ol></li><li>NEW &amp; EXISTING INTERIOR TRIM &amp; MOLDINGS:<ol style="list-style-type: none"><li>ONE (1) COAT SPEEDHIDE QUICK DRYING LATEX PRIMER (NEW TRIM).</li><li>TWO (2) COATS SATIN HIDE LO-LUSTER LATEX ENAMEL (SEMI-GLOSS FINISH).</li></ol></li><li>NEW WOOD DOORS AND TRIM:<ol style="list-style-type: none"><li>ONE (1) COAT SPEEDHIDE QUICK DRYING LATEX PRIMER</li><li>TWO (2) COATS OF SEMI GLOSS FINISH.</li></ol></li></ol></li><li>INTERIOR DOORS SHALL BE MANUFACTURED BY MASONITE AND SHALL BE 1 3/4" SOLID CORE MASONITE MOLDED PANEL, "SAFE N' SOUND" SERIES DOORS, SIZE AS NOTED ON THE DRAWINGS, DOOR STYLE AND TEXTURE SHALL MATCH EXISTING DOORS, PROVIDE ADDITIONAL SUPPORT OF ALL SOLID DOORS AND FRAMES AT EACH HINGE WITH A MINIMUM OF (1) ONE 3 1/2" LONG SCREW AT EACH PAIR OF HINGES, MINIMUM (3) THREE PER DOOR. (HINGE FINISH TO MATCH EXISTING). PROVIDE LOCK SETS TO MATCH EXISTING.</li></ol></li></ol>	

INDEX TO DRAWINGS	
SHT. #	TITLE
ARCHITECTURAL	
A-1	INDEX TO DRAWINGS, SITE LOCATION MAP, CODE ANALYSIS CHART, REMOVALS PLANS, FLOOR PLANS AND NOTES
A-2	BATHROOM PLAN & ELEVATIONS, CEILING LIFT TRACK PLAN AND DETAILS
MEP-1	MEP - REMOVALS PARTIAL FIRST FLOOR PLAN, MEP - PARTIAL FIRST FLOOR PLAN, SCHEDULE AND DETAILS



- REMOVAL NOTES**
- REMOVE ALL PLUMBING FIXTURES IN THEIR ENTIRETY, REMOVE EXISTING SUPPLY & DRY PIPING AS REQUIRED FOR NEW FIXTURE LAYOUT, CUT & CAP SUPPLY AND DRY PIPING AS REQUIRED BEHIND FINISHED SURFACES.
  - REMOVE EXISTING TILE WALL MAINSCOTING AND GYPSUM BOARD FROM WALLS & CEILINGS DOWN TO BARE FRAMING (EXISTING FIBERGLASS INSULATION AND VAPOR BARRIER TO REMAIN IN EXTERIOR WALLS). PATCH VAPOR BARRIER DAMAGED BY REMOVALS.
  - REMOVE EXISTING DOOR IN ITS ENTIRETY INCLUSIVE OF WOOD TRIM.
  - REMOVE FLOOR FINISH & UNDERLAYMENT DOWN TO EXISTING SUBFLOOR.
  - REMOVE EXISTING BATHROOM ACCESSORIES (MIRROR, TOILET TISSUE HOLDER, ETC.) IN THEIR ENTIRETY.
  - REMOVE EXISTING VANITY/LAVATORY IN ITS ENTIRETY (SALVAGE FOR REINSTALLATION) CUT & CAP EXISTING SUPPLY & DRY PIPING AS REQUIRED BEHIND FINISH SURFACES. PATCH EXISTING FLOOR TILE AS REQUIRED FROM REMOVAL OF VANITY/LAVATORY.
  - REMOVE EXISTING WALL PARTITIONS AS SHOWN ON PLANS AS REQUIRED FOR NEW LAYOUT. TEMPORARILY SUPPORT EXISTING STRUCTURE UNTIL NEW HEADERS ARE INSTALLED. PATCH ALL EXISTING AREAS DAMAGED BY REMOVALS.
  - REMOVE PORTION OF EXISTING WALL PARTITION TO WIDEN EXISTING OPENING.
  - REMOVE EXISTING GYPSUM BOARD AND TRIM BOARD AS REQUIRED TO ACCESS EXISTING FIRST FLOOR FRAMING.
  - REMOVE EXISTING INSULATION AS REQUIRED TO INSTALL NEW SISTERED FLOOR JOISTS, SALVAGE FOR REINSTALLATION.
  - REMOVE EXISTING GYPSUM BOARD FROM CEILING IN BEDROOM AS REQUIRED TO INSTALL SISTERED FLOOR JOISTS.

- CONSTRUCTION NOTES**
- SISTER NEW 2x10's, 10' LONG TO EXISTING 2x10 FLOOR JOISTS @ 16" O.C. PROVIDING CANTILEVER AT GARAGE SIDE AS SHOWN ON PLANS.
  - INSTALL NEW 2x10 RIM BOARD, COVER WITH WALL GYPSUM BOARD.
  - REINSTALL SALVAGED INSULATION WITHIN EXISTING FLOOR.
  - INSTALL NEW R-30 FRICTION FIT FIBERGLASS BATT INSULATION WITHIN NEW CANTILEVER AND INSTALL NEW 5/8" TYPE "X" GYP. BD. ON UNDERSIDE OF CANTILEVERED FLOOR JOIST.
  - CONSTRUCT NEW PARTITIONS W/ 2x6's @ 16" O.C. COVERED WITH 1/2" GYP. BD. ON BOTH SIDES, INFILL CAVITY W/ 5 1/2" R-21 FIBERGLASS BATT INSULATION W/ VAPOR BARRIER TO WARM SIDE.
  - CONSTRUCT NEW PARTITIONS W/ 2x4's @ 16" O.C. COVERED WITH 1/2" GYP. BD. BOTH SIDES (FIBERGLASS MAT GYP. BD. ON BATHROOM WALLS).
  - INSTALL 1/2" GYP. BD. ON CEILING (FIBERGLASS MAT GYP. BD. ON BATHROOM CEILING).
  - INSTALL NEW 3'-0" X 6'-8" DOOR, FRAME AND HARDWARE (PRIVACY LOCKSET FOR BATHROOM & BEDROOM), STYLE & THICKNESS TO MATCH EXISTING (MATCH EXISTING HARDWARE STYLE AND FINISH). INSTALL NEW DOOR TRIM, STYLE TO MATCH EXISTING.
  - INSTALL NEW 3'-0" X 6'-8" C" LABEL DOOR, FRAME AND HARDWARE, STYLE & THICKNESS TO MATCH EXISTING (MATCH EXISTING HARDWARE STYLE AND FINISH). INSTALL NEW DOOR TRIM, STYLE TO MATCH EXISTING.
  - INSTALL WOOD TRIM IN OPENING ABOVE DOOR FOR CEILING TRACK PASS-THRU, MODIFY DOOR FRAMES AS REQUIRED, SEE DETAIL 5/A-2.
  - INSTALL NEW WOOD FLOORING TO MATCH EXISTING (HATCHED AREA), HEAVE INTO EXISTING.
  - INSTALL 1/2" PLYWOOD OVER EXISTING SUB-FLOOR, 1/2" PLYWOOD SHIMS, THINSET MORTAR SLOPED TO DRAIN 1/4" CEMENT BOARD, WATERPROOFING MEMBRANE, AND TILE ON FLOOR, SEE DETAIL 1/A-2 & 2/A-2.
  - INSTALL PORCELAIN TILE ON FLOOR, WALLS & BASES AS SHOWN ON DRAWINGS.
  - INSTALL CEILING TRACK LIFT SYSTEM, SEE 6/A-2 FOR TRACK LIFT PLAN.
  - INSTALL PVC TRIM ON HEAD, JAMB AND SILL OF EXISTING WINDOW.
  - REWORK EXISTING BASE TRIM AND INSTALL NEW AS REQUIRED FOR NEW PARTITIONS AND DOOR LOCATIONS (MATCH EXISTING SIZE AND SHAPE).
  - INSTALL GRAB BARS AND ACCESSORIES AS SHOWN ON DRAWINGS, INSTALL WOOD BLOCKING FOR ALL GRAB BARS AND ACCESSORIES, SEE DETAIL 1 4/A-2.
  - INSTALL MARBLE SADDLE, SEE DETAIL 3/A-2.
  - PATCH EXISTING GYP. BD. WALLS AS REQUIRED FROM REMOVALS AND NEW WORK AND PREP FOR PAINT.
  - INSTALL NEW WIRE SHELVING IN CLOSET (FILL WIDTH), PROVIDE (1) 16" DEEP SHELF W/ INTEGRAL HANGING ROD, 60" ABOVE FINISH FLOOR, PROVIDE ADDITIONAL HANGING HARDWARE 48" ABOVE FINISH FLOOR.
  - INSTALL NEW PLUMBING FIXTURES, SEE MECHANICAL DRAWINGS.
  - PATCH / REPAIR EXISTING VAPOR BARRIER ON EXTERIOR WALL AS REQUIRED DUE TO REMOVALS.
  - INSTALL NEW (2) 1.15" X 11.25" LVL DROP BEAM, TEMPORARILY SUPPORT EXISTING STRUCTURE UNTIL NEW BEAM IS INSTALLED.
  - INSTALL NEW (3) 2x12 HEADER.
  - CONSTRUCT NEW SOFFIT W/ 2x4 STUDDING AS REQUIRED TO CONCEAL NEW DROP BEAM (FULL DEPTH OF AREA).
  - PAINT WALLS & CEILING AS INDICATED ON DRAWINGS, INCLUSIVE OF PAINTING ALL NEW & EXISTING DOORS, FRAMES & TRIM WITHIN INDICATED ROOMS TO BE PAINTED.
  - PROVIDE (3) 2 X 6 STUDS FOR SOLID BEARING DOWN TO FOUNDATION WALL BELOW (E.A. BEARING POINT, TYP.).
  - INSTALL 1/2" GYPSUM BOARD ON BEDROOM CEILING.
  - SISTER NEW 2 X 10's TO EXISTING FLOOR JOISTS (SECOND FLOOR) (FULL SPAN). INSTALL BLOCKING BETWEEN JOISTS AS REQUIRED FOR CEILING TRACK LIFT SYSTEM, VERIFY WITH MANUFACTURER.



project no.	16-022
date	6 OCT 16
drawn by	SW
revision	
description	
revision	
date	

ALTERATIONS FOR:

## DABASHI RESIDENCE

82 DELAVAN AVE  
BEACON, NY

INDEX TO DRAWINGS, SITE LOCATION MAP, CODE ANALYSIS CHART, REMOVALS PLANS, FLOOR PLANS AND NOTES

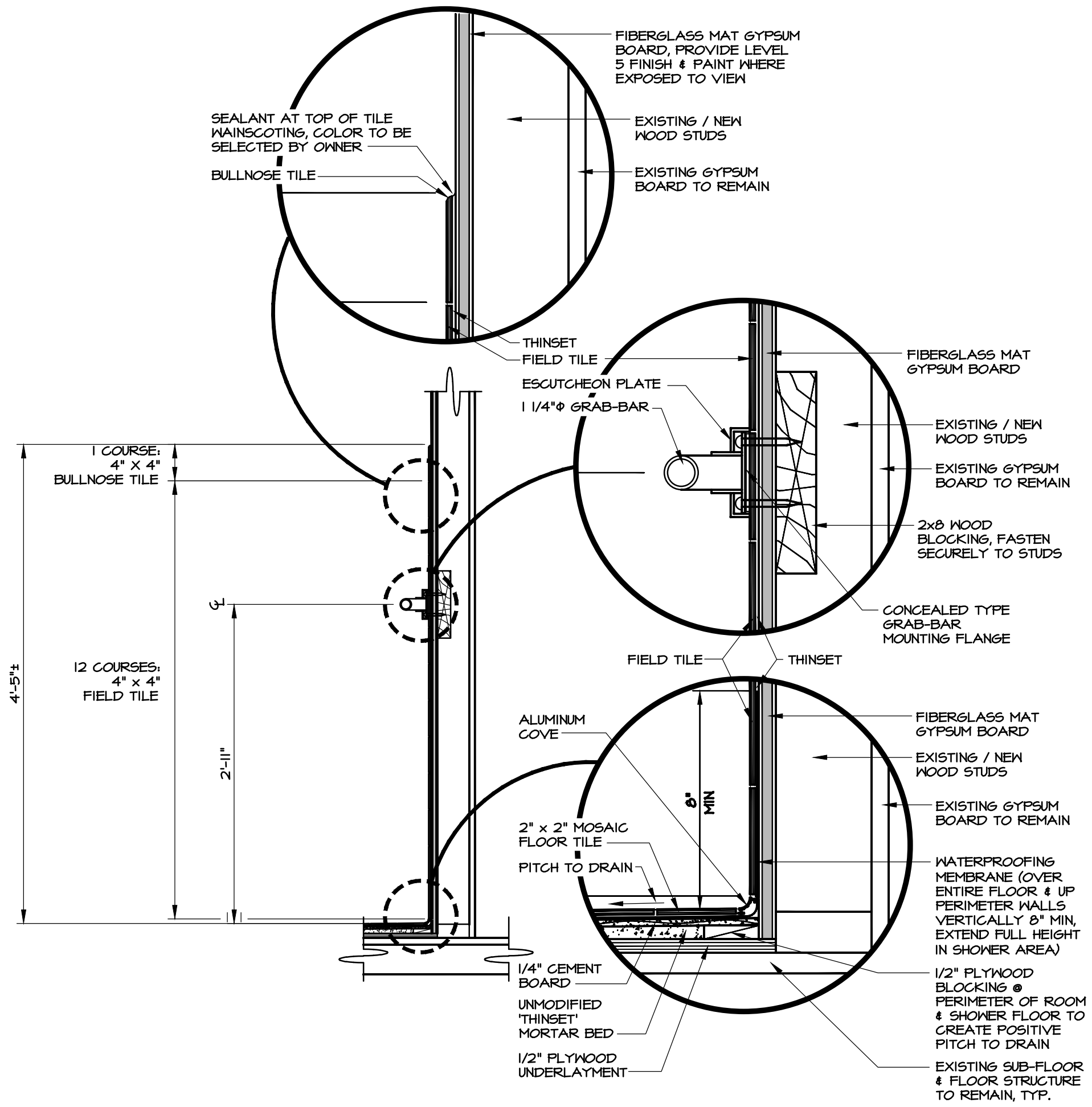
## MAURI ARCHITECTS PC

303 MILL STREET POUGHKEEPS NY 12601 845.452.0330 [mauri-architects.com](http://mauri-architects.com)

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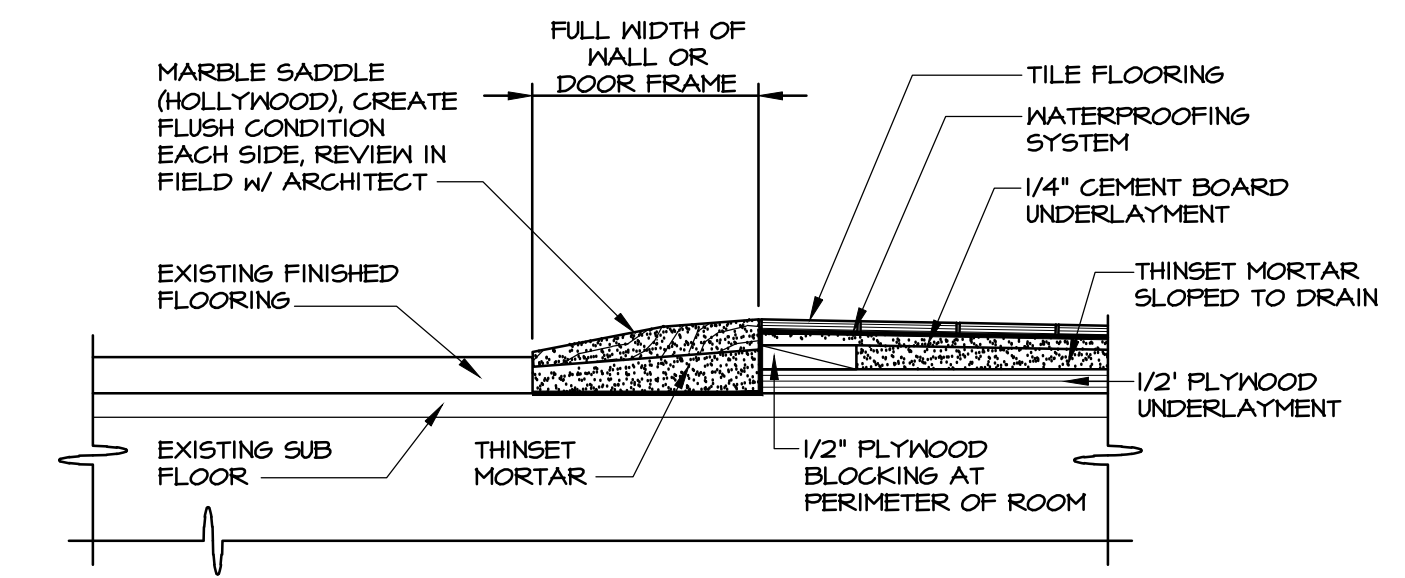
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PERMIT TO SECTION 645 BY OF THE REGULATION OF THE COMMISSIONER OF EDUCATION AUTHORIZED ALTERATIONS TO THIS DOCUMENT IS A VIOLATION OF THE LAW



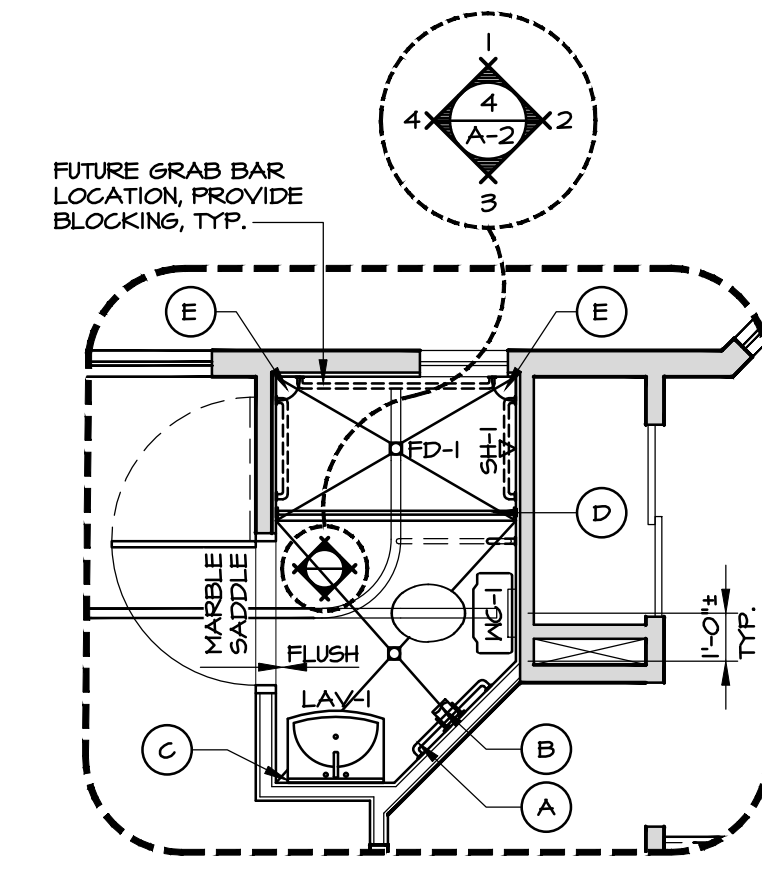
1 TILE / GRAB BAR DETAILS

A-2 SCALE: N.T.S.



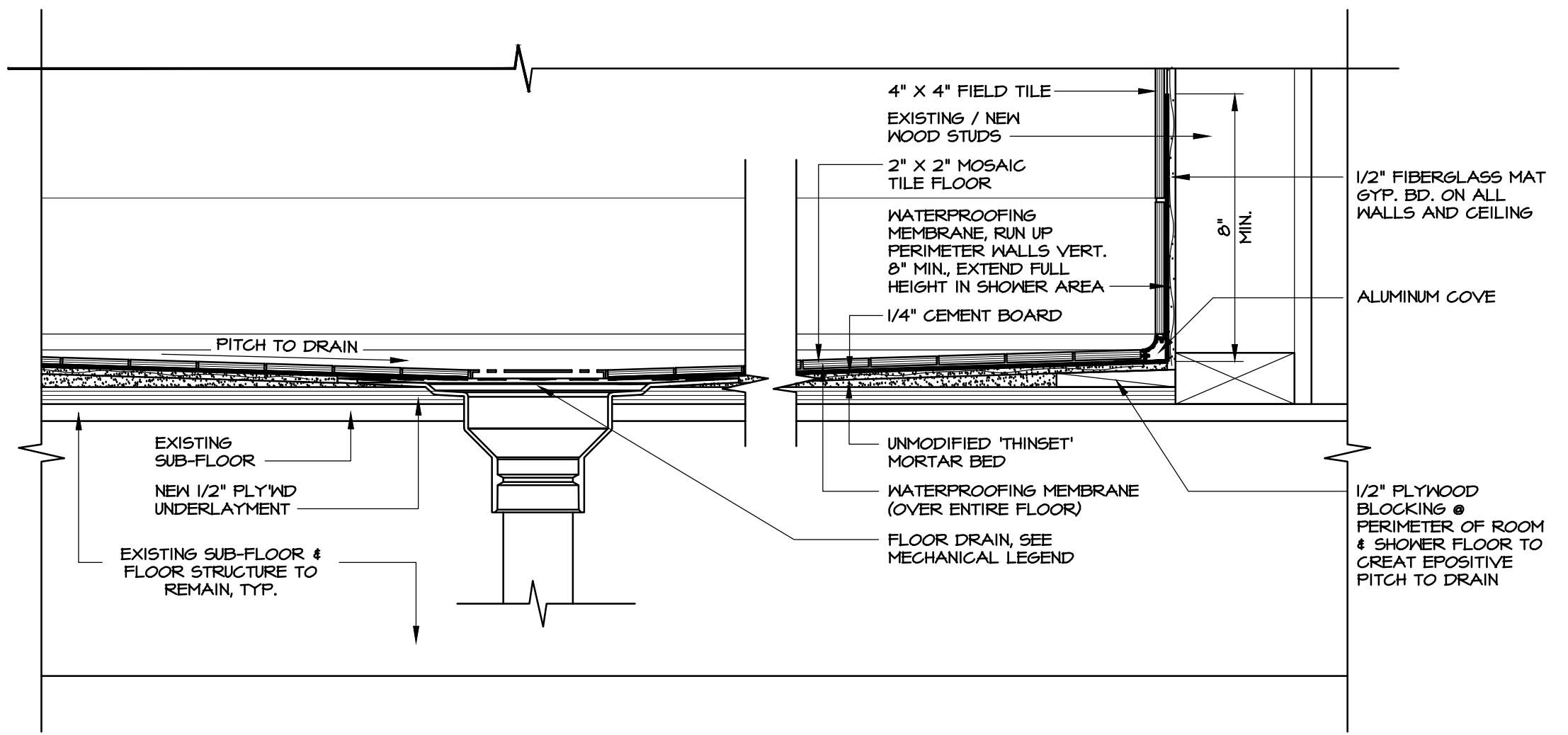
3 MARBLE SADDLE

A-2 SCALE: 3/8\"/>



4 BATH PLAN & ELEVATIONS

A-2 SCALE: 1/4\"/>

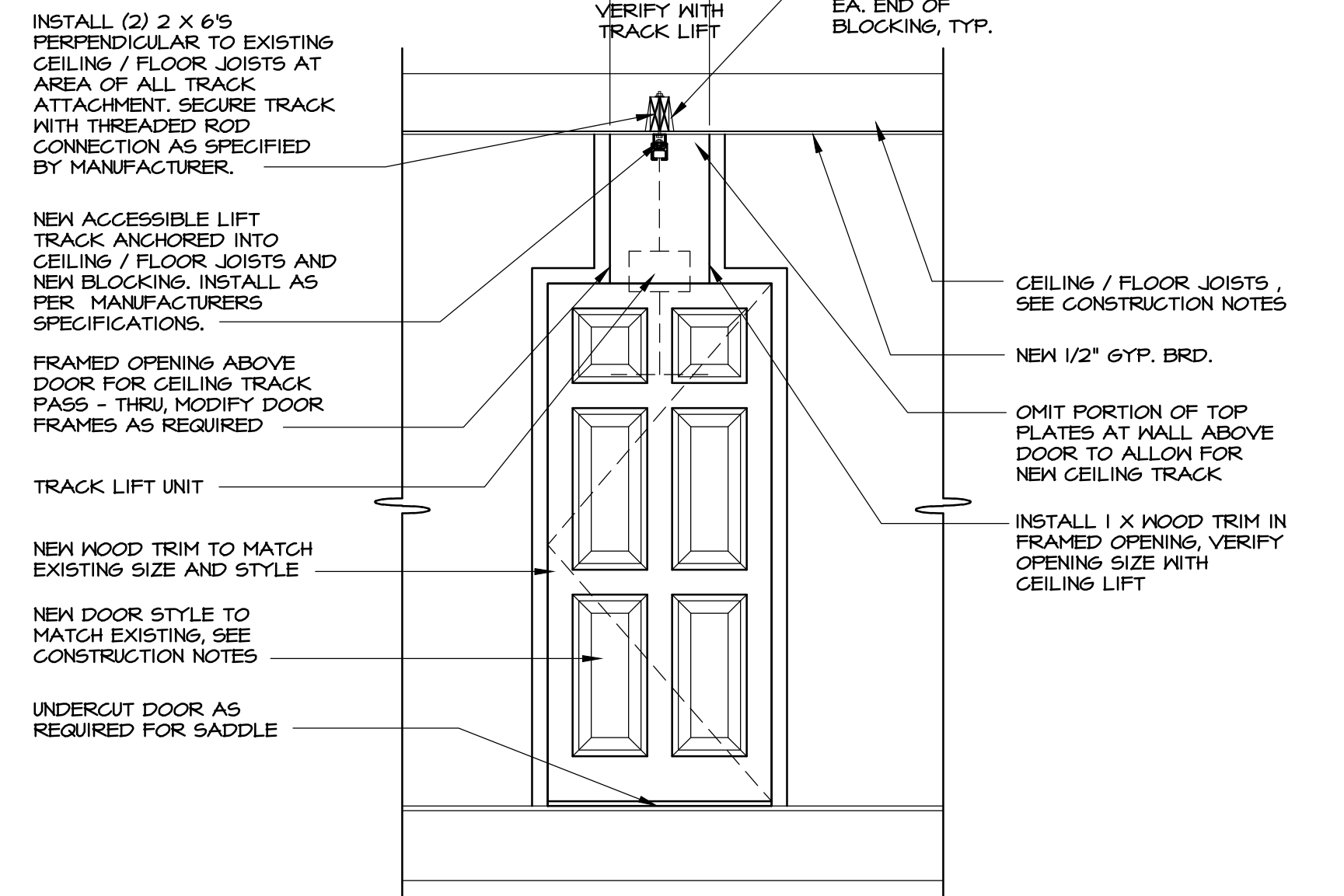
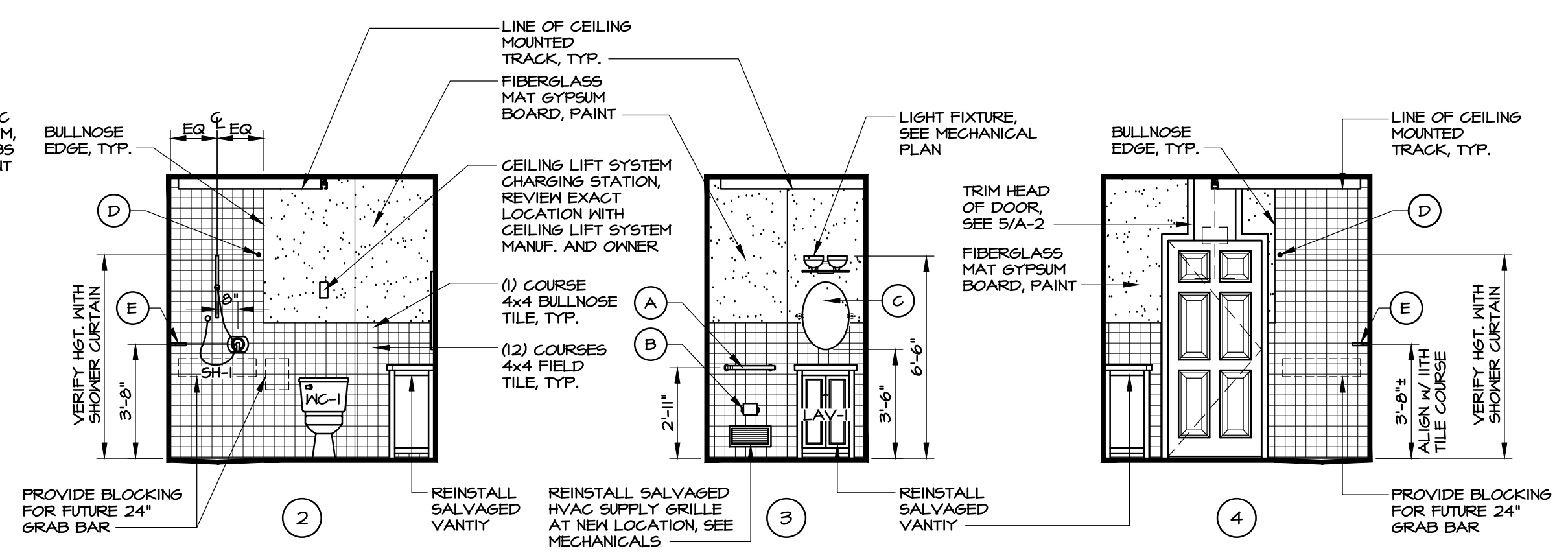


2 FLOOR DRAIN / FLOOR PITCH DETAIL

A-2 SCALE: 3/8\"/>

TOILET ACCESSORIES SCHEDULE		
ID	MANUF.	DESCRIPTION
A	MOEN	BANBURY 24\"/>
B	MOEN	BANBURY PIVOTING POST TOILET PAPER HOLDER IN SPOT RESIST BRUSHED NICKEL
C	MOEN	BANBURY 26\"/>
D	MOEN	44\"/>
E	DALTILE	MEDIUM CORNER SOAP DISH

NOTES:  
1. PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED FIXTURES & ACCESSORIES, INCLUDING FUTURE ACCESSORIES.



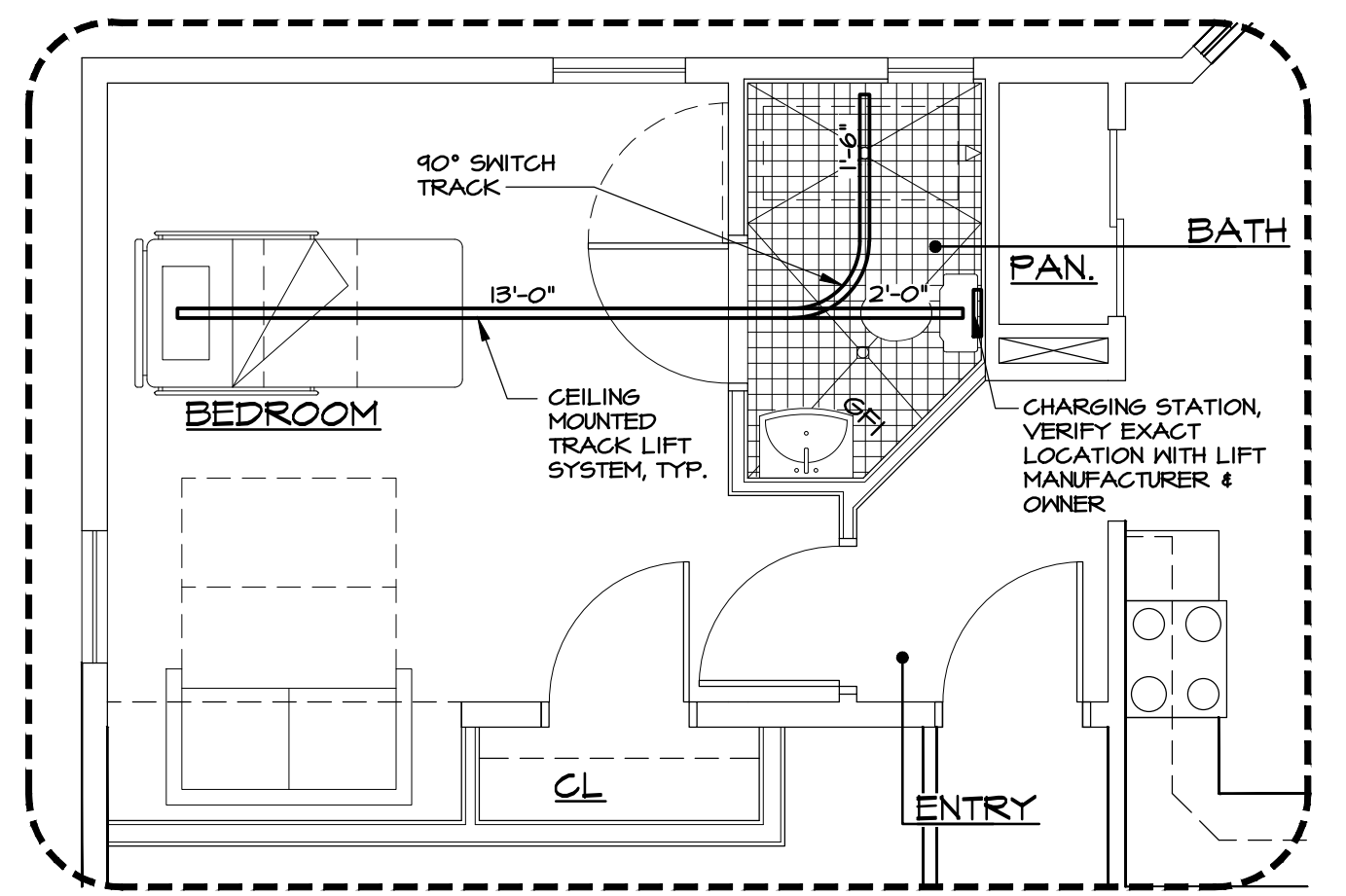
5 DOOR DETAIL

A-2 SCALE: 1/2\"/>

TRACK LIFT SPECIFICATION

MANUFACTURER  
A. PROVIDE A CEILING LIFT SYSTEM BY THE FOLLOWING MANUFACTURER:  
GULDMMANN INC.  
14401 MCCORMICK DRIVE, UNIT A  
TAMPA, FL 33626  
PHONE: 1-800-664-8834  
FAX: 813-880-4558  
E-MAIL: GULDMMANN@GULDMMANN.NET  
SUPPLIER:  
GREMLIN MEDICAL EQUIPMENT  
205 GENESEE STREET  
ONEIDA, NY 13421  
TEL: (315)-744-2085  
ATTN: GARY GIBBONS

B. CEILING LIFT SYSTEM  
1. CEILING MOUNTED TRACK: "A" TRACK PROFILE IN CONFIGURATIONS AS INDICATED ON THE DRAWINGS. PROVIDE ELECTRIC SWITCH TRACK AND CURVED SECTIONS (90, 60 & 45 DEG) AS REQUIRED AND ALL NECESSARY MOUNTING HARDWARE COVER PLATES ETC. FOR COMPLETE INSTALLATION.  
2. LIFTS: GULDMMANN GHI SERIES LIFT (450LB CAPACITY) (WHITE COVER). PROVIDE ONE LIFT WITH RECHARGING DOCK STATION AS NOTED ON DRAWINGS.  
3. SLINGS: PROVIDE ONE SLING AS SELECTED BY OWNER.  
C. SUPPLY MATERIALS FOR INSTALLATION OF PRODUCTS AS SPECIFIED IN MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.  
D. INSTALLERS TO FIELD VERIFY INSTALLATION REQUIREMENTS AND COORDINATE WITH NEW & EXISTING STRUCTURAL COMPONENTS.  
E. INSTALL TRACK SYSTEMS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION GUIDELINES.  
F. REINFORCE EXISTING STRUCTURAL MEMBERS AS RECOMMENDED BY THE MANUFACTURER, AND AS INDICATED ON THE CONSTRUCTION DRAWINGS.  
G. PROVIDE ELECTRICAL WIRING FOR LIFT TRACK SYSTEM AS REQUIRED BY THE MANUFACTURER.  
H. TRAINED MANUFACTURERS REPRESENTATIVE TO DEMONSTRATE SYSTEMS AND CAPABILITIES TO THE OWNER.



6 CEILING LIFT TRACK PLAN

A-2 SCALE: 1/4\"/>

project no.  
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SW

revision	description	date

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**DABASHI RESIDENCE**

BEACON, NY

82 DELAVAN AVE

BATHROOM PLAN & ELEVATIONS, CEILING LIFT TRACK PLAN AND DETAILS

**MAURI ARCHITECTS PC**

303 MILL STREET POUGHKEEPSIE NY 12601 845.452.1030 mauri-architects.com

SW: A-2

PURSUANT TO SECTION 645 (b) OF THE REGULATION OF THE COMMISSIONER OF EDUCATION, ANY UNAUTHORIZED ALTERATIONS TO THIS DOCUMENT IS A VIOLATION OF THE LAW.



# MECHANICAL NOTES

1. ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE RESIDENTIAL CODE, N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE (2015), ALL LOCAL CODES AND GENERALLY ACCEPTED STANDARDS.
2. CONTRACTOR SHALL PROVIDE ALL FIXTURES, PIPING, VALVES, ACCESS DOORS, HANGERS, FITTINGS AND MISCELLANEOUS COMPONENTS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE MECHANICAL SYSTEMS COMPLETE AND OPERATIONAL IN ACCORDANCE WITH APPLICABLE CODES AND GENERALLY ACCEPTED INDUSTRY STANDARDS.
3. CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL PIPING AND EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS.
4. CONTRACTOR SHALL SEAL AROUND ALL PIPE PENETRATIONS THROUGH WALLS, FLOORS AND CEILINGS WITH MILIT INTERSECT FIRE STOP MATERIAL TO MAINTAIN FIRE AND SOUND RATINGS.
5. CONTRACTOR SHALL FITCH ALL SANITARY PIPES UNDER 3" A MINIMUM OF 1/8" PER FOOT. SANITARY PIPING 3" AND ABOVE MAY BE PITCHED A MINIMUM OF 1/8" PER FOOT.
6. CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIAL INSTALLED UNDER THIS CONTRACT FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER AND AGREES TO RECTIFY DEFECTIVE WORK AT NO ADDITIONAL COST TO OWNER DURING THE GUARANTEE PERIOD.
7. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL EQUIPMENT TO OWNER FOR APPROVAL. DEMONSTRATE NEW PLUMBING SYSTEMS TO OWNER AND REVIEW MAINTENANCE PROCEDURES. SUBMIT (1) EQUIPMENT MANUAL TO OWNER.
8. PROVIDE CHROME PLATED ESCUTCHEON PLATES WHERE PIPES PASS THROUGH WALLS, FLOORS AND CEILINGS IN FINISHED AREAS.
9. CONTRACTOR SHALL COORDINATE FINAL LOCATIONS OF ALL PIPING IN FINISHED AREAS WITH GENERAL CONTRACTOR TO ENSURE CONCEALMENT OF ALL PIPING IN WALLS, FLOORS AND CEILINGS.
10. CONTRACTOR SHALL LOCATE ALL PIPING ON THE WARM SIDE OF BUILDING INSULATION ENVELOPE.
11. CONTRACTOR SHALL PAY FOR ALL PERMITS AND INSPECTIONS FEES REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION.
12. CONTRACTOR SHALL PROVIDE ACCESS DOORS FOR ALL VALVES CONCEALED IN NEW WORK. ACCESS DOORS MANUFACTURED BY KARP (HANDI-ACCESS DOOR), PROVIDE (2) COATS OF FINISH PAINT, COLOR AS DIRECTED BY OWNER.
13. CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL MEMBERS WITHOUT PERMISSION OF ARCHITECT.
14. CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING AND FINISHING ASSOCIATED WITH ALL PIPING WORK.
15. ALL DOMESTIC WATER PIPING SHALL BE COPPER TYPE "L" WITH SOLDERED CONNECTIONS.
16. ALL DWV PIPING SHALL BE PVC SCHEDULE 40 OR SHALL MATCH EXISTING MATERIALS, UNLESS OTHERWISE PROHIBITED.
17. INSULATE ALL NEW HOT AND COLD SUPPLY PIPING AND ANY EXISTING SUPPLY PIPING THAT IS EXPOSED DURING CONSTRUCTION IN ACCORDANCE WITH THE NEW YORK STATE RESIDENTIAL CODE.
18. ALL NEW FIXTURES SHALL RECEIVE NEW SHUT-OFF VALVES FOR WATER SUPPLY LINES. ANY EXPOSED VALVES SHALL HAVE A CHROME FINISH.
19. CONTRACTOR TO VERIFY HEIGHT OF EXISTING SEWER FOR INSTALLATION OF NEW FLOOR DRAIN, NOTIFY ARCHITECT OF ANY DISCREPANCIES.

## ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE LATEST EDITION, AND THE RESIDENTIAL CODE OF NEW YORK STATE.
2. ELECTRICAL CONTRACTOR SHALL OBTAIN, PAY FOR AND COMPLY WITH ALL REQUIRED PERMITS. THE ELECTRICAL CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO OWNER PRIOR TO COMPLETION OF PROJECT.
3. ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS, NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE ELECTRICAL INSTALLATION COMPLETE AND OPERATIVE, AND IN COMPLIANCE WITH APPLICABLE CODES.
4. ALL WIRING SHALL BE COPPER CONDUCTOR, MINIMUM SIZE 12 GA. 3 WIRE NIT GROUND, UNLESS OTHERWISE NOTED.
5. ELECTRICAL CONTRACTOR SHALL SEAL AROUND ALL CONDUIT PENETRATIONS THROUGH WALLS, FLOORS AND CEILINGS WITH AN INTUMESCENT FIRE STOP MATERIAL TO MAINTAIN FIRE AND SMOKE RATINGS.
6. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES TO AVOID CONFLICTS OF EQUIPMENT INSTALLATION. ELECTRICAL CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL EQUIPMENT CONNECTIONS, WIRING DEVICES AND LIGHTING WITH ARCHITECT PRIOR TO INSTALLATION.
7. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING AND PAINTING ASSOCIATED WITH ELECTRICAL WORK.
8. ALL WIRING FOR ELECTRICAL EQUIPMENT, OUTLETS AND SWITCHES, ETC. SHALL BE CONCEALED IN WALLS OR CEILING.
9. MOUNTING HEIGHTS FROM FINISHED FLOOR TO CENTER LINE OF DEVICES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON DRAWINGS:
  - CONVENIENCE OUTLETS: 18"
  - LIGHT SWITCHES: 44"
  - COMMUNICATIONS OUTLETS: 18"
10. CONTRACTORS SHALL PROVIDE ALL NECESSARY BREAKERS (COMPATIBLE WITH PANEL) OF ADEQUATE SIZE FOR USE INTENDED. IF SPACE IS NOT AVAILABLE IN EXISTING POWER PANEL, PROVIDE NEW TANDEM CIRCUIT BREAKERS IN PLACE OF EXISTING BREAKERS.



RENOVATION WORK:

- REMOVE EXISTING PLUMBING FIXTURES IN THEIR ENTIRETY CAP ALL SUPPLY AND DRYV LINES BELOW SUB-FLOOR AND REMORK AS REQUIRED FOR NEW FIXTURE LOCATIONS
- REMOVE & RELOCATE EXISTING VACUUM OUTLET
- REMOVE EXISTING FLOOR REGISTER. REMORK EXISTING DUCTWORK AS REQUIRED
- REMOVE EXISTING LIGHT SWITCH AND WIRING. EXISTING LIGHT FIXTURE TO REMAIN
- REMOVE EXISTING ELECTRIC IN FIRST & SECOND FLOOR STRUCTURES AS REQUIRED FOR INSTALLATION OF SISTERED JOISTS

ROOMS:

- BEDROOM
- BATH
- ENTRY
- KITCHEN
- DINING ROOM
- GARAGE

OTHER FEATURES:

- PAN.
- CL.
- REF.

CEILING MOUNTED TRACK

BEDROOM

PROVIDE HARDWIRED CONNECTION FOR ELECTRIC SWITCH TRACK. REVIEW REQUIREMENTS WITH TRACK MANUFACTURER

BATH

CEILING LIFT CHARGING STATION, TYP.

RELOCATED VACUUM OUTLET

44" AFF MOUNTING HEIGHT

LAV-I

ENTRY

KITCHEN

REF.

DINING ROOM

GARAGE

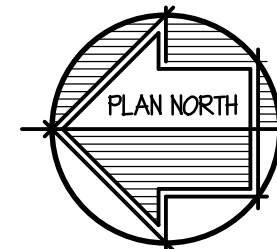
NOTE: REMORK EXISTING DUCTWORK AS REQUIRED FOR NEW REGISTER LOCATIONS

3  
MEP-1

MEP - PARTIAL FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 1' 2' 5' 10'

[illegible]

ALTERATIONS FOR:

**DABASHI RESIDENCE**

82 DELAVAN AVE  
BEACON, NY

MEP - REMOVALS PARTIAL FIRST FLOOR PLAN, MEP -  
PARTIAL FIRST FLOOR PLAN, SCHEDULE AND DETAILS

**MAURI ARCHITECTS PC**  
3008 WILL STREET FOUCHKEE@E NY 12601 845.452.1030 mauri-architects.com

sheet no. **MEP=**

PURSUANT TO SECTION 69.5 (B) OF  
THE REGULATIONS OF THE  
COMMISSIONER OF EDUCATION  
UNAUTHORIZED ALTERATIONS TO THIS  
DOCUMENT IS A VIOLATION OF THE LAW.